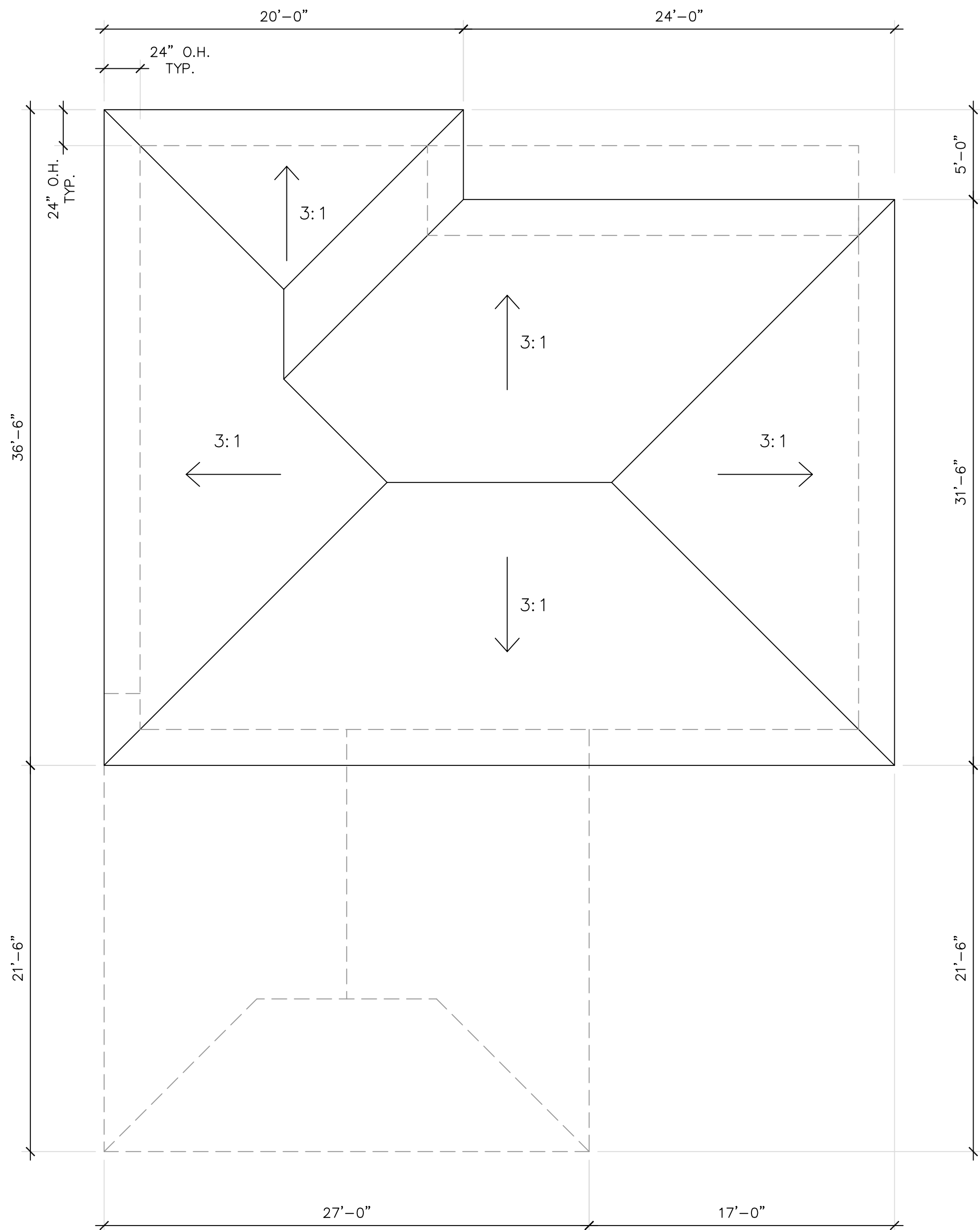
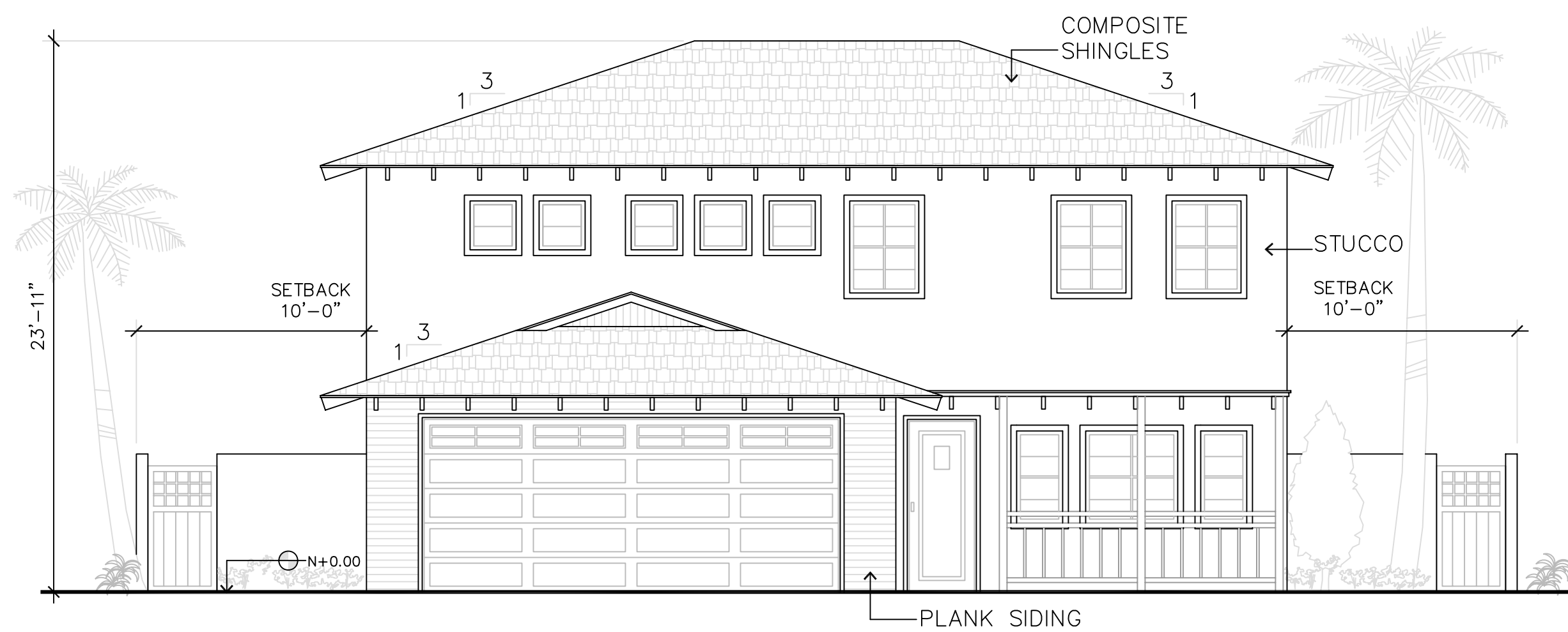




ROOF PLAN

3/16" = 1'-0" SCALE



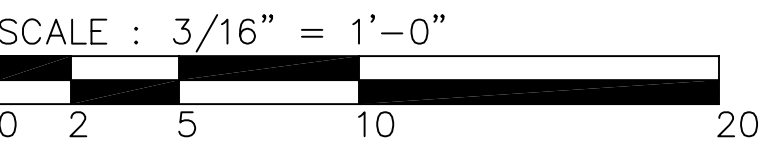
CONCEPTUAL FRONT ELEVATION

3/16" = 1'-0" SCALE

SINGLE FAMILY 6,000 S.F LOT PLAN 4A-1
LOTS: 419-423, 439-477.

- Lot Size: 6,000 S.F. Typical
- Minimum Lot Dimension 60'x 97' Typical
- Living Area First Floor: 1,143 S.F.
- Living Area Second Floor: 1,109 S.F.
- Garage Area : 479 S.F.
- Total Area: 2,731 S.F.
- Housing Type: Single Family
- Front Yard Setback: 18'
- Side Yard Setback: 10'
- Rear Yard Setback: 25'
- Parking: Garages accessed from lanes in the front. Visitor parking provided at street.
- Building Height: 23'-11"

All drawings, plans, elevations and illustrations as shown in this submittal are for conceptual design only to illustrate the intent of the proposed architecture for Warner Ranch. Final designs may vary subject to review and approval of the governing agencies.



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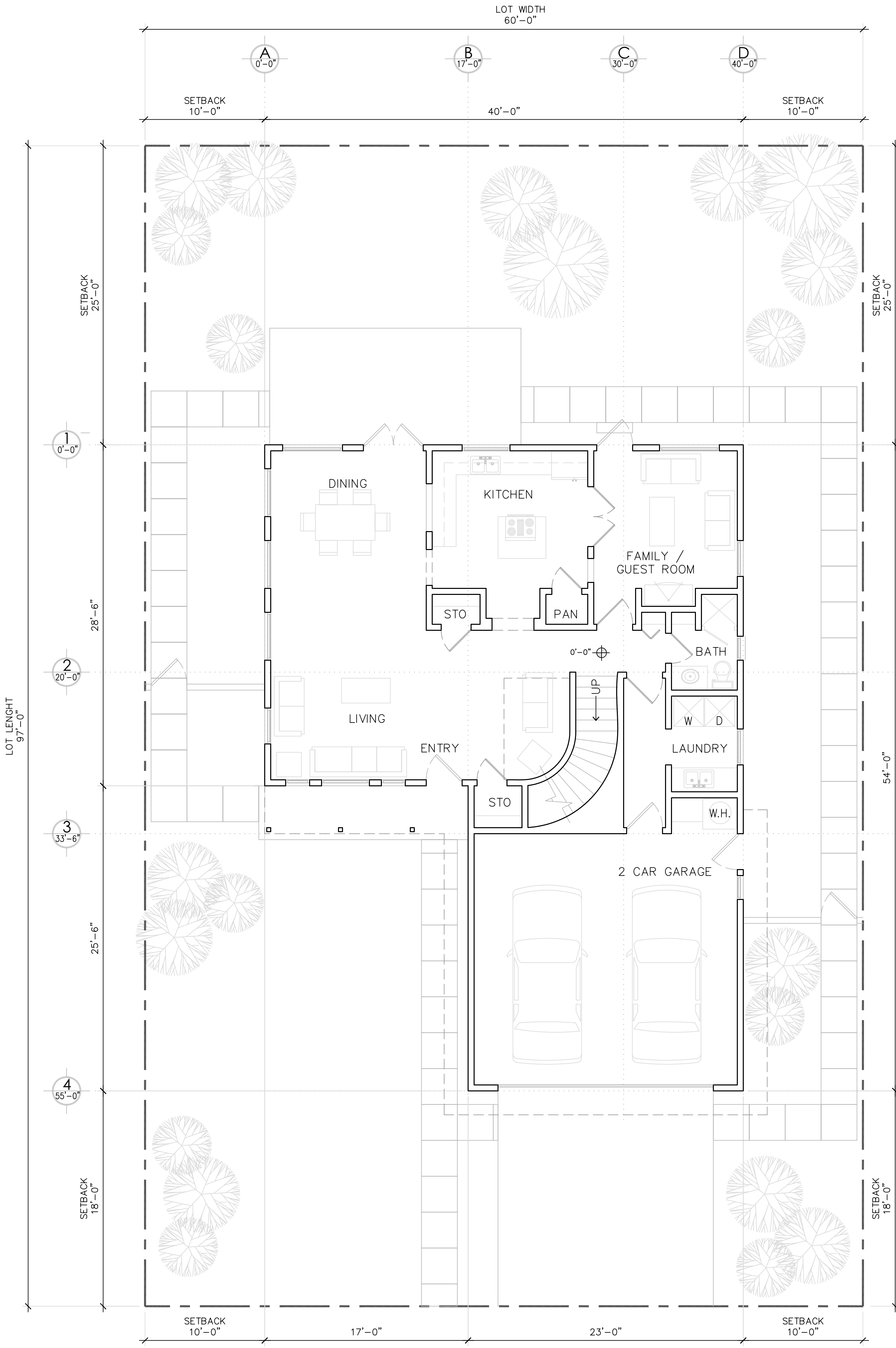
WARNER RANCH
COUNTY OF SAN DIEGO
SITE PLAN

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CIELO VILLAGE, 18029 CALLE AMBIENTE, SUITE 302
P.O. BOX 60623, RANCHO SANTA FE, CALIF. 92067
PHONE: (650) 756-6344 FAX: (650) 756-6344

SITE PLAN-27
Single Family
Plan 4A-1

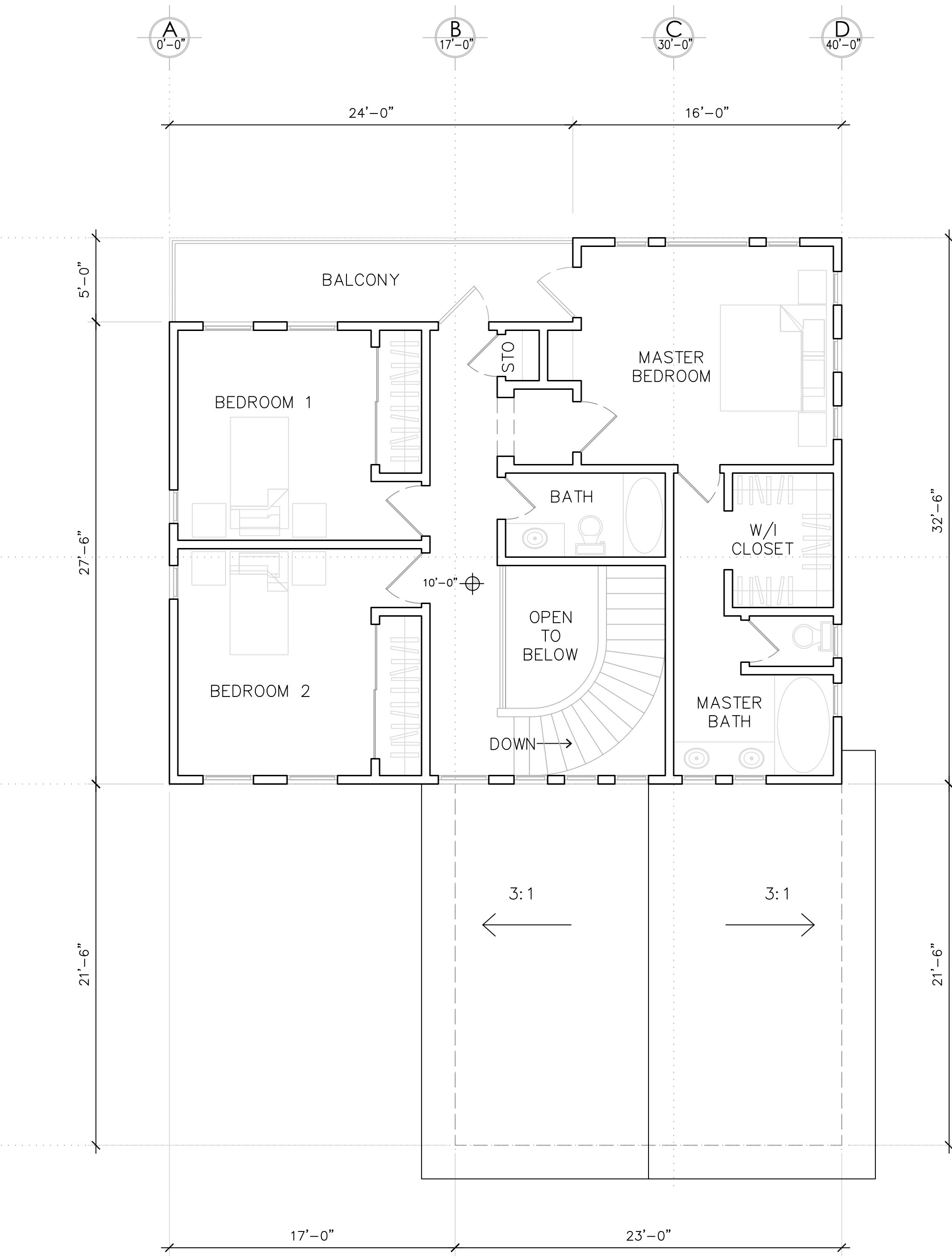
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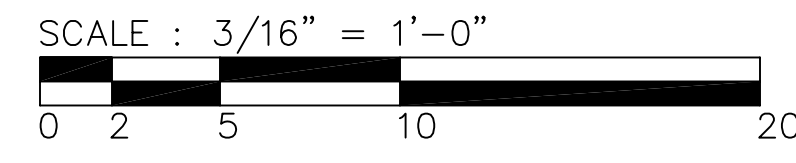
FIRST FLOOR PLAN

3/16" = 1'-0" SCALE



SECOND FLOOR PLAN

3/16" = 1'-0" SCALE



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WARNER RANCH

COUNTY OF SAN DIEGO
SITE PLAN

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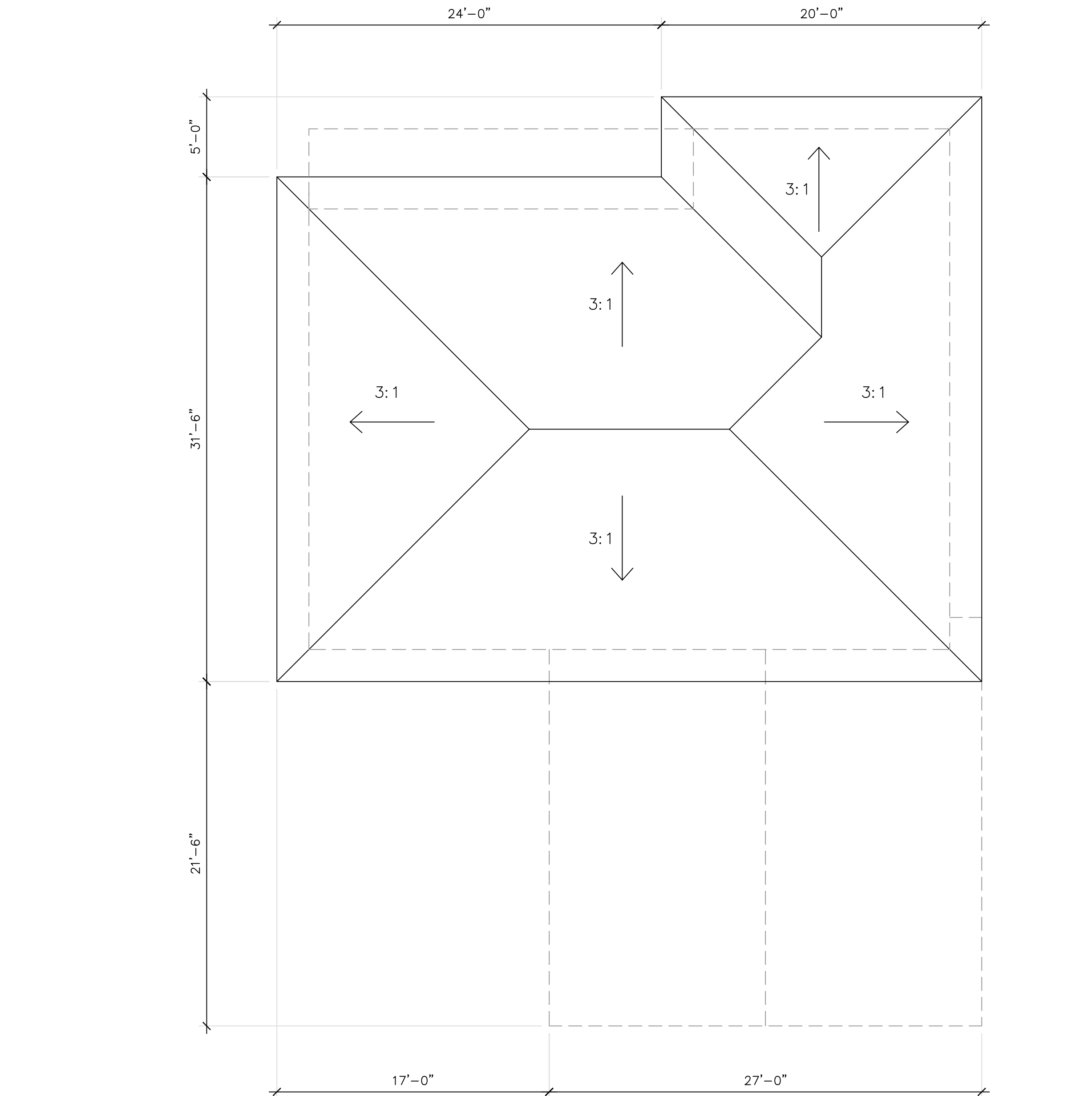
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SITE PLAN-28

Single Family Plan 4A-2

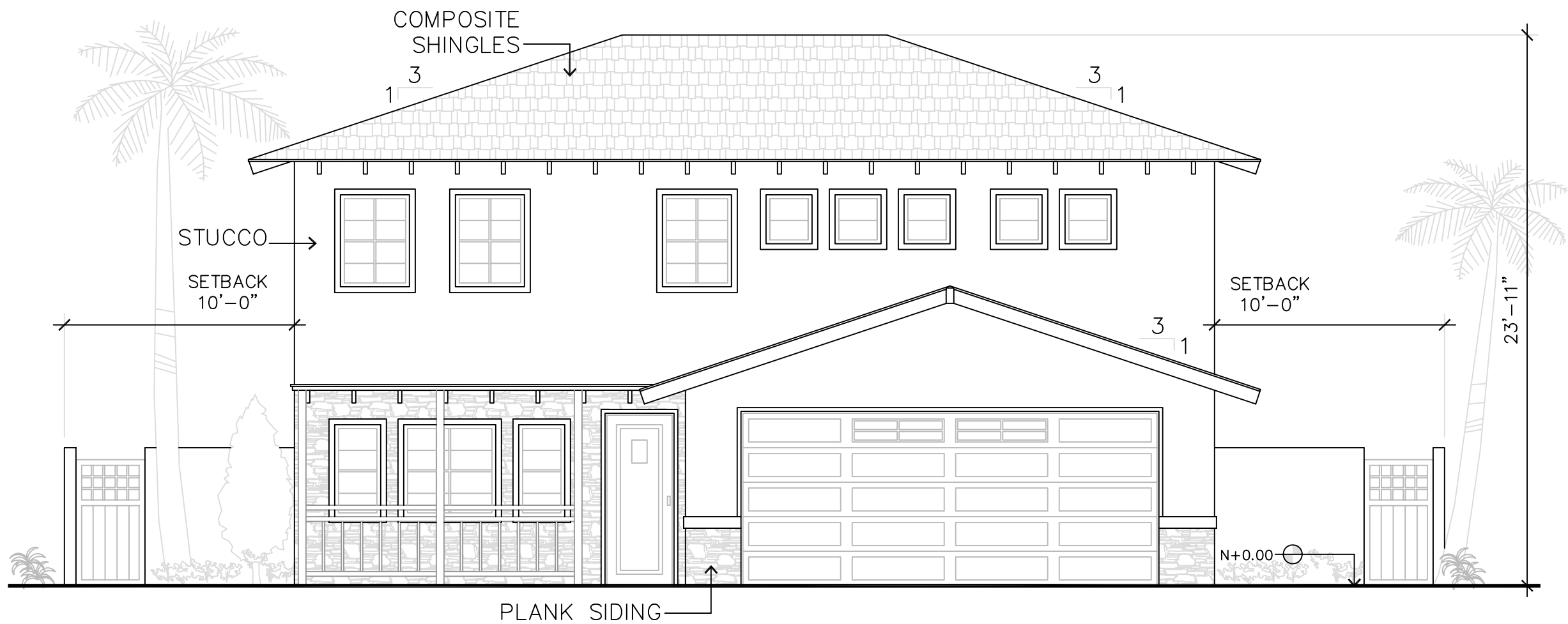
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ROOF PLAN

3/16" = 1'-0" SCALE

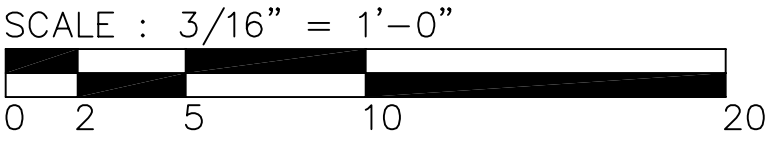


CONCEPTUAL FRONT ELEVATION

3/16" = 1'-0" SCALE

- SINGLE FAMILY 6,000 S.F LOT PLAN 4A-2
LOTS: 419-423, 439-477.
- Lot Size: 6,000 S.F. Typical
 - Minimum Lot Dimension : 60'x 97' Typical
 - Living Area First Floor: 1,143 S.F.
 - Living Area Second Floor: 1,109 S.F.
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 - Parking: Garages accessed from lanes in the front. Visitor parking provided at street.
 - Building Height: 23'-11"

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PHONE: (858) 756-8340 FAX: (858) 756-8344

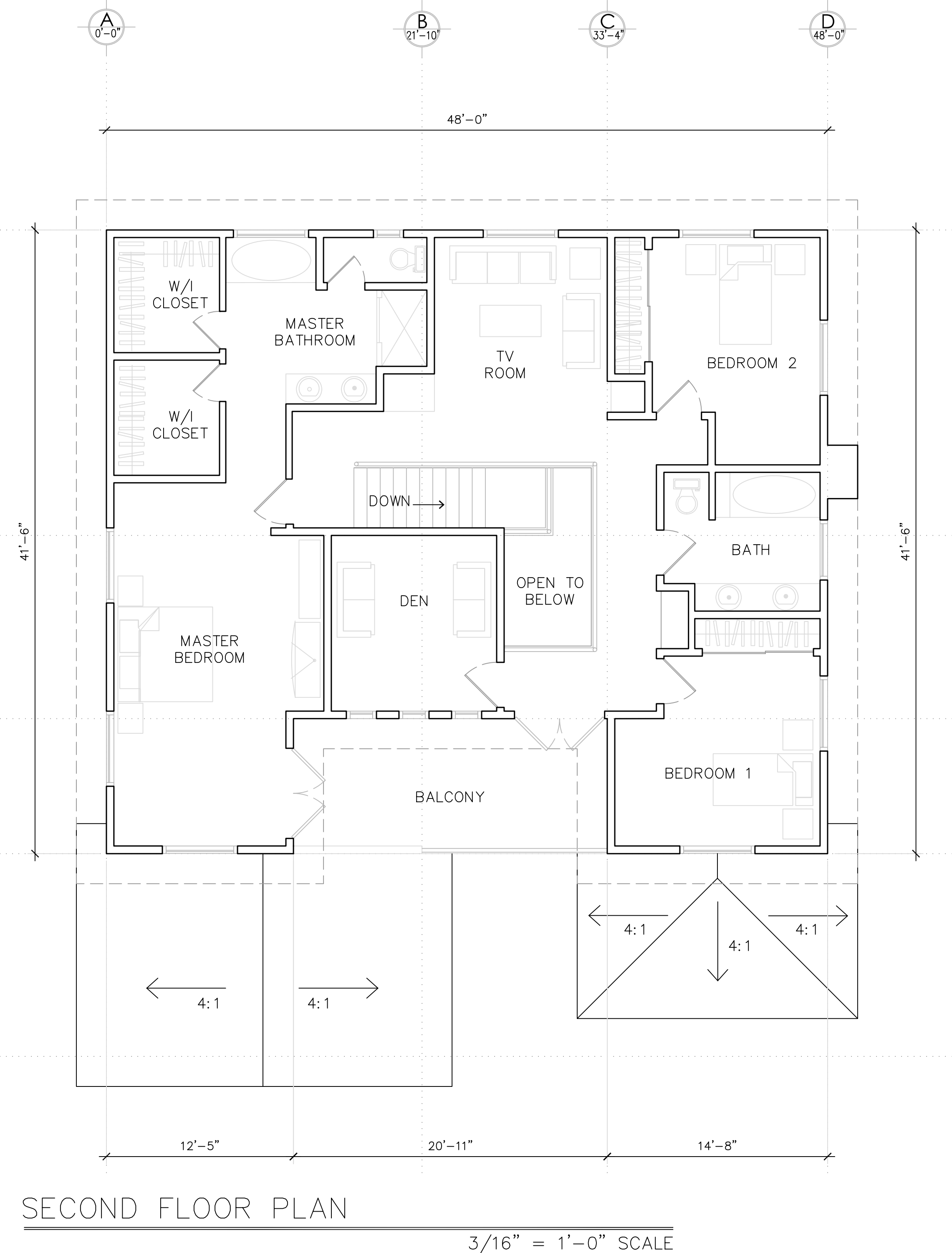
SITE PLAN-29

Single Family

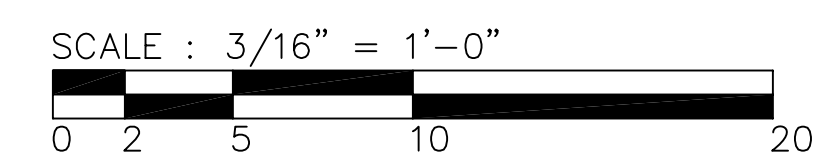
Plan 4A-2

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3/16" = 1'-0" SCALE



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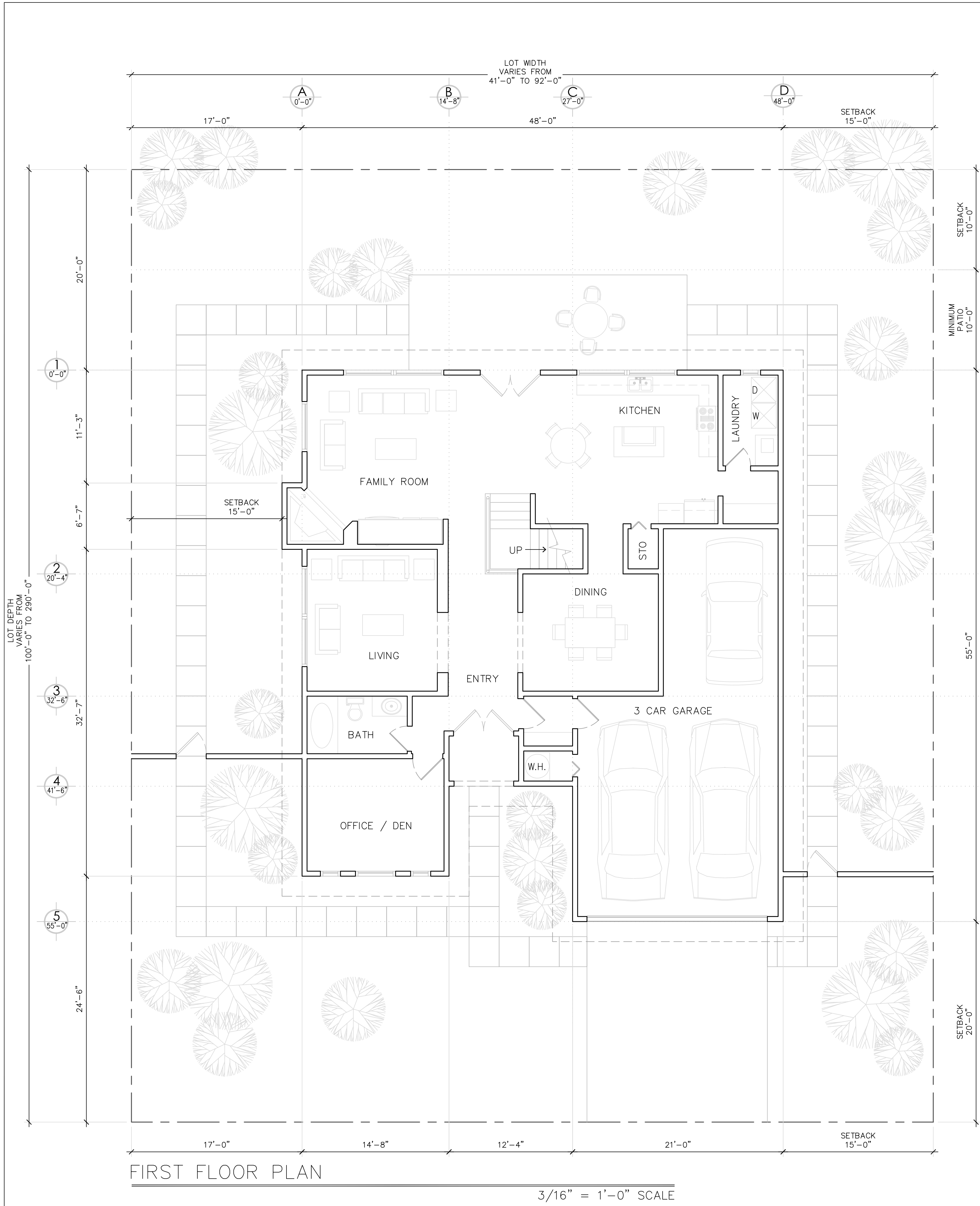
COUNTY OF SAN DIEGO
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SITE PLAN-30
Single Family
Plan 5A-1

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SITE PLAN

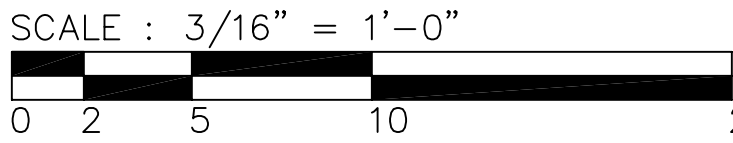
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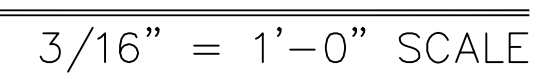
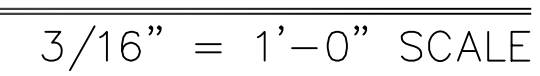
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SITE PLAN-32 Single Family Plan 5A-2

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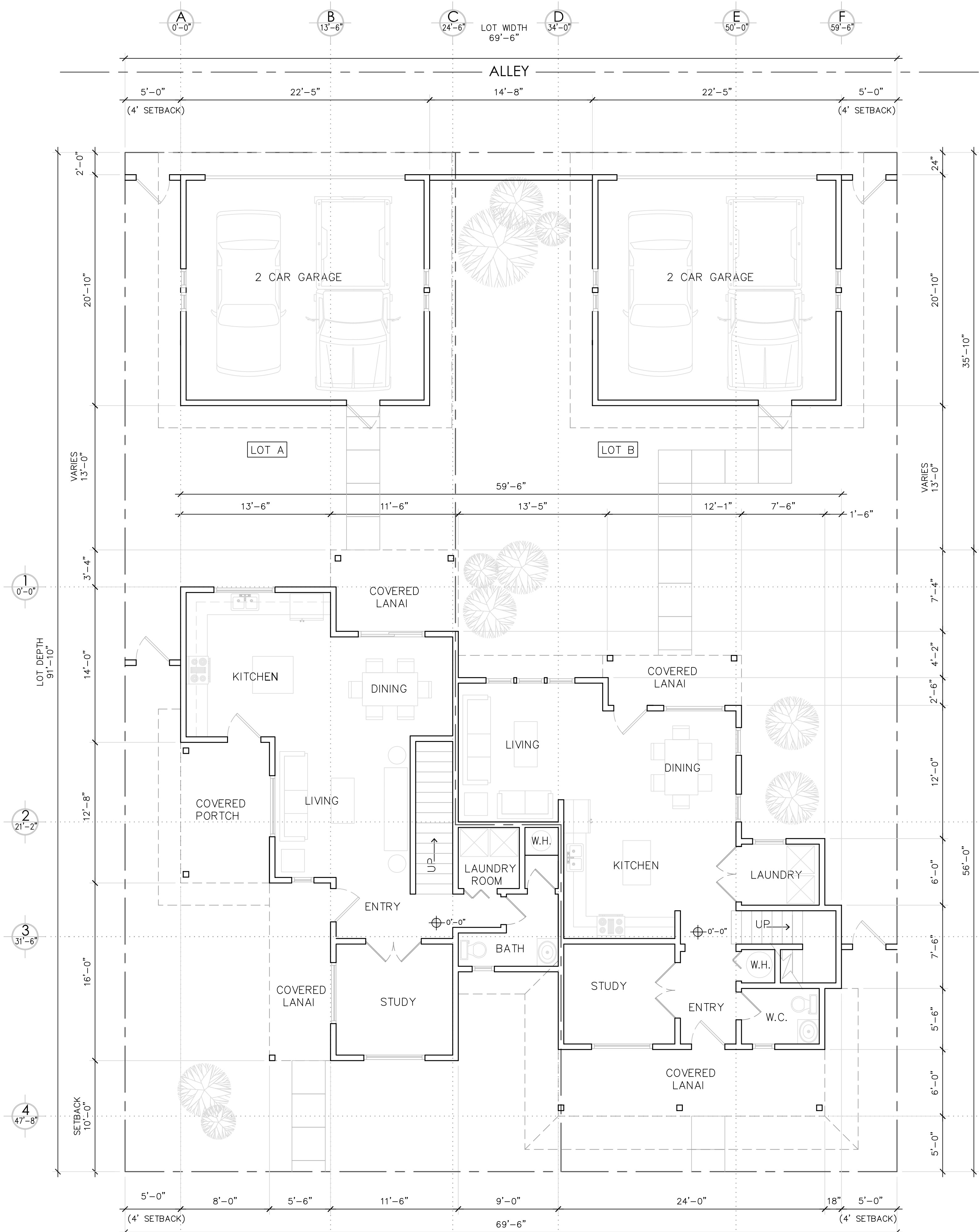




SCALE : $\frac{3}{16}" = 1'-0"$



A horizontal graphic scale bar with alternating black and white segments. Below the bar are numerical markings at 0, 2, 5, 10, and 20, representing feet.



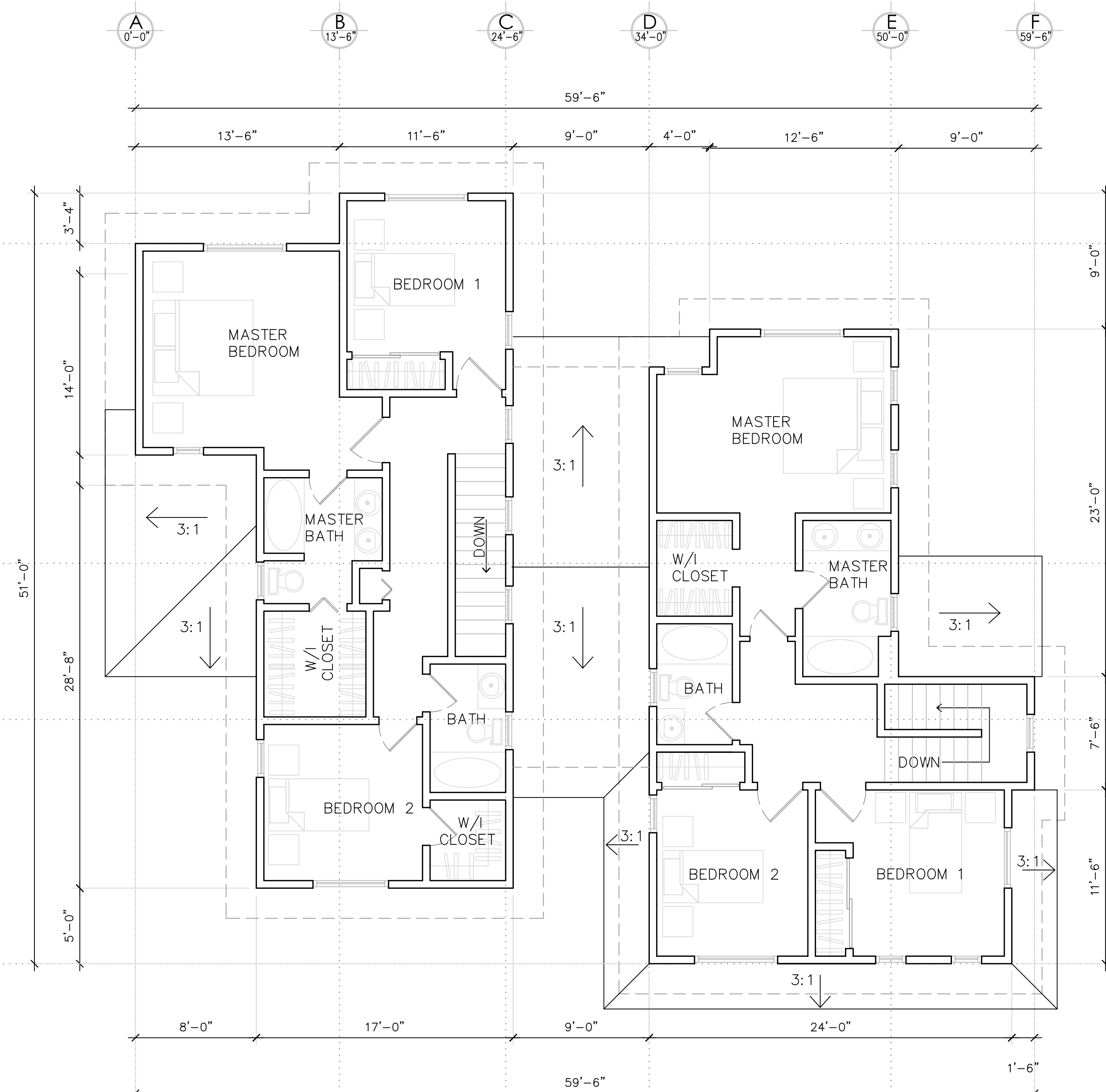
FIRST FLOOR PLAN

3/16" = 1'-0" SCALE

MULTI-FAMILY DUPLEX PLAN 6A-1
LOTS: 289-318.

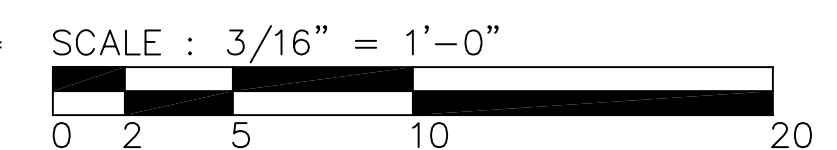
- Lot Size: Varies
- Minimum Lot Dimension 69'x 90'
- Living Area First Floor: 757/737 S.F.
- Living Area Second Floor: 752/702 S.F.
- Garage Area : 424/424 S.F.
- Total Area: 1,933/1,863 S.F.
- Housing Type: Multi-Family Duplex
- Front Yard Setback: 10'
- Side Yard Setback: 4'
- Rear Yard Setback: 0'
- Parking: Garages accessed from alley.
- Visitor parking provided at street.
- Building Height: 20' - 7"

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SECOND FLOOR PLAN

3/16" = 1'-0" SCALE



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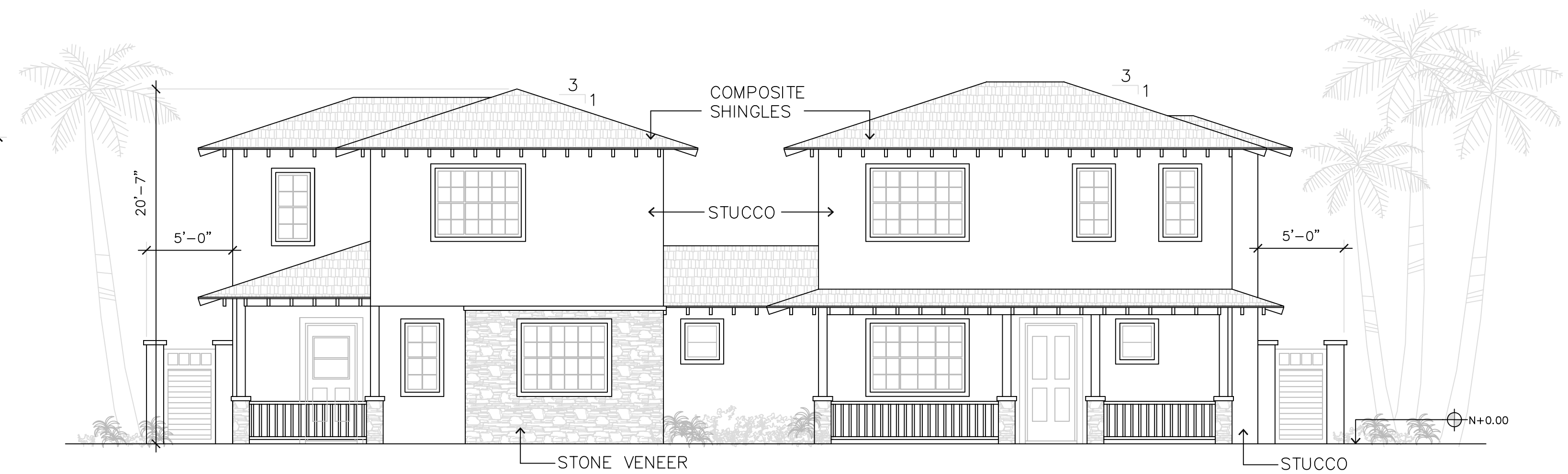
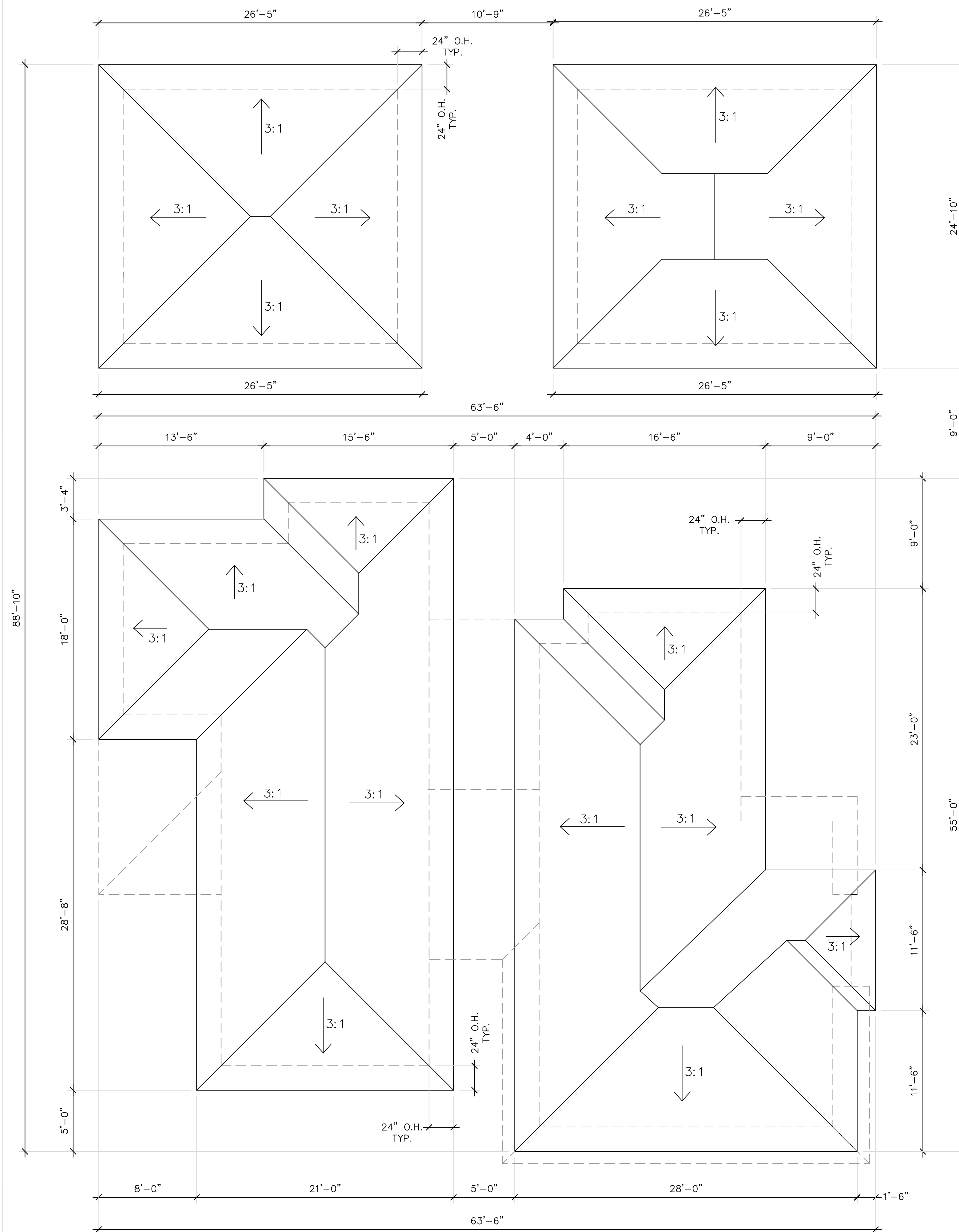
COUNTY OF SAN DIEGO
SITE PLAN

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SITE PLAN-34
Duplex
Plan 6A-1

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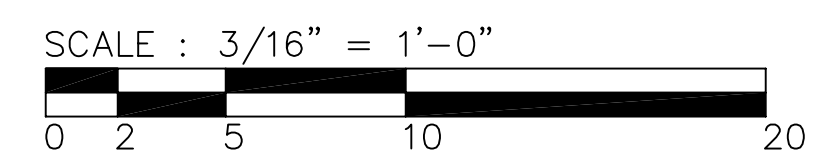
                  

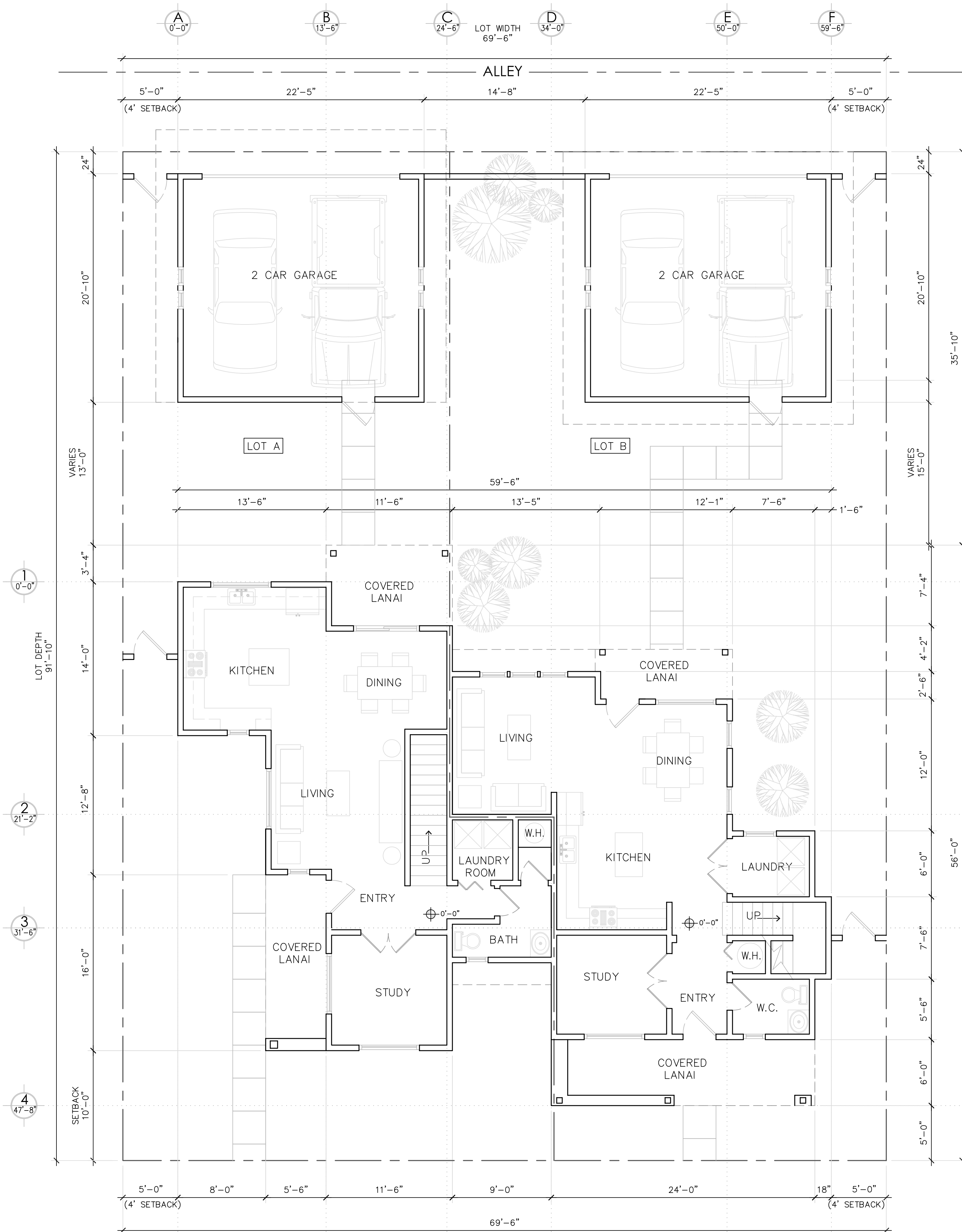
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SITE PLAN-35
Duplex
Plan 6A-1

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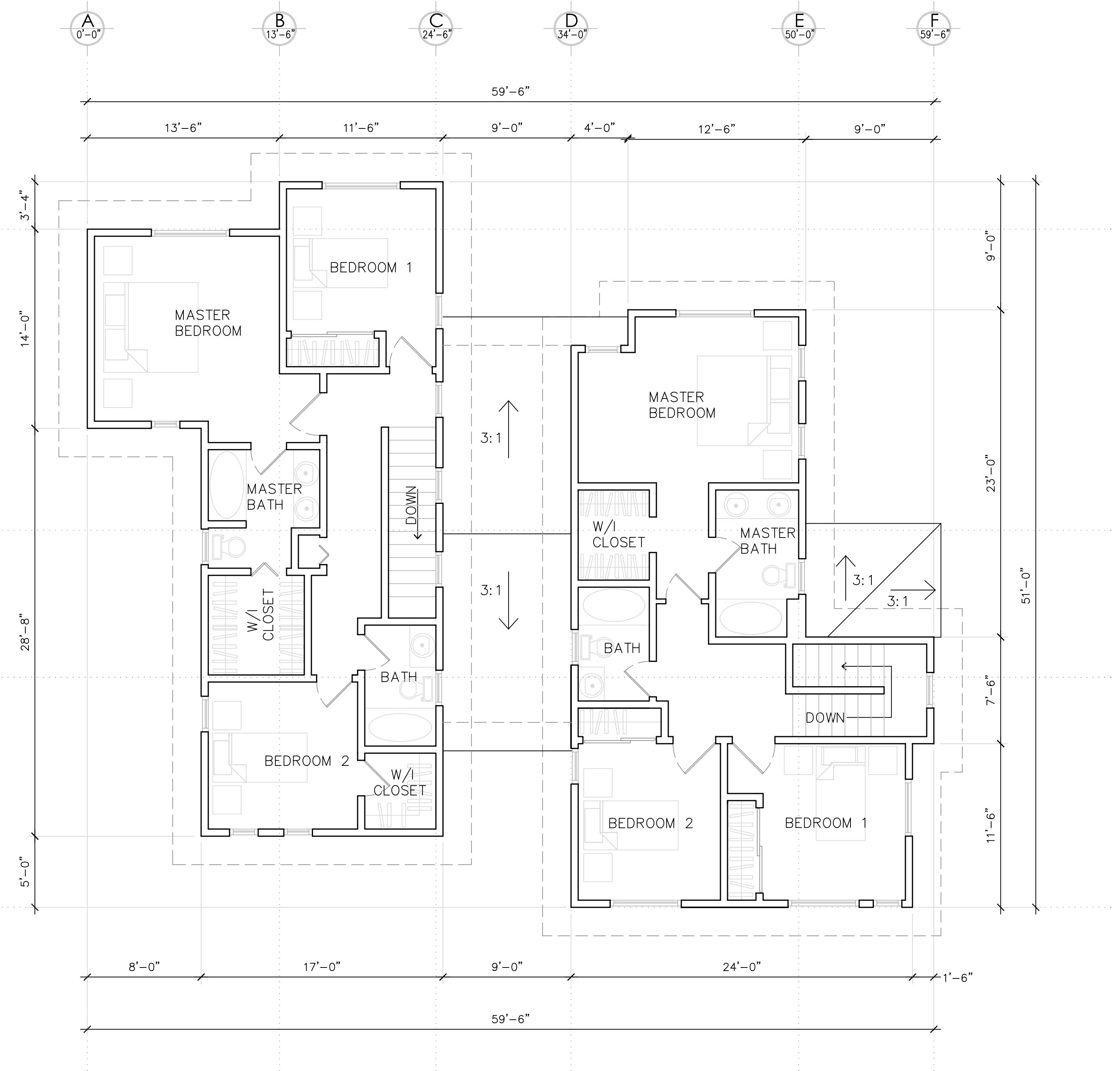


3/16" = 1'-0" SCALE

MULTI-FAMILY DUPLEX PLAN 6A-2
LOTS: 289-318.

- Lot Size: Varies
- Minimum Lot Dimension: 69'x 90'
- Living Area First Floor: 757/737 S.F.
- Living Area Second Floor: 752/702 S.F.
- Garage Area : 424/424 S.F.
- Total Area: 1,933/1,863 S.F.
- Housing Type: Multi-Family Duplex
- Front Yard Setback: 10'
- Side Yard Setback: 4'
- Rear Yard Setback: 0'
- Parking: Garages accessed from alley.
- Visitor parking provided at street.
- Building Height: 20'-7"

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3/16" = 1'-0" SCALE

SCALE : $\frac{3}{16}" = 1'-0"$



A horizontal graphic scale bar with alternating black and white segments. Below the bar, numerical markers are placed at 0, 2, 5, 10, and 20, representing feet.

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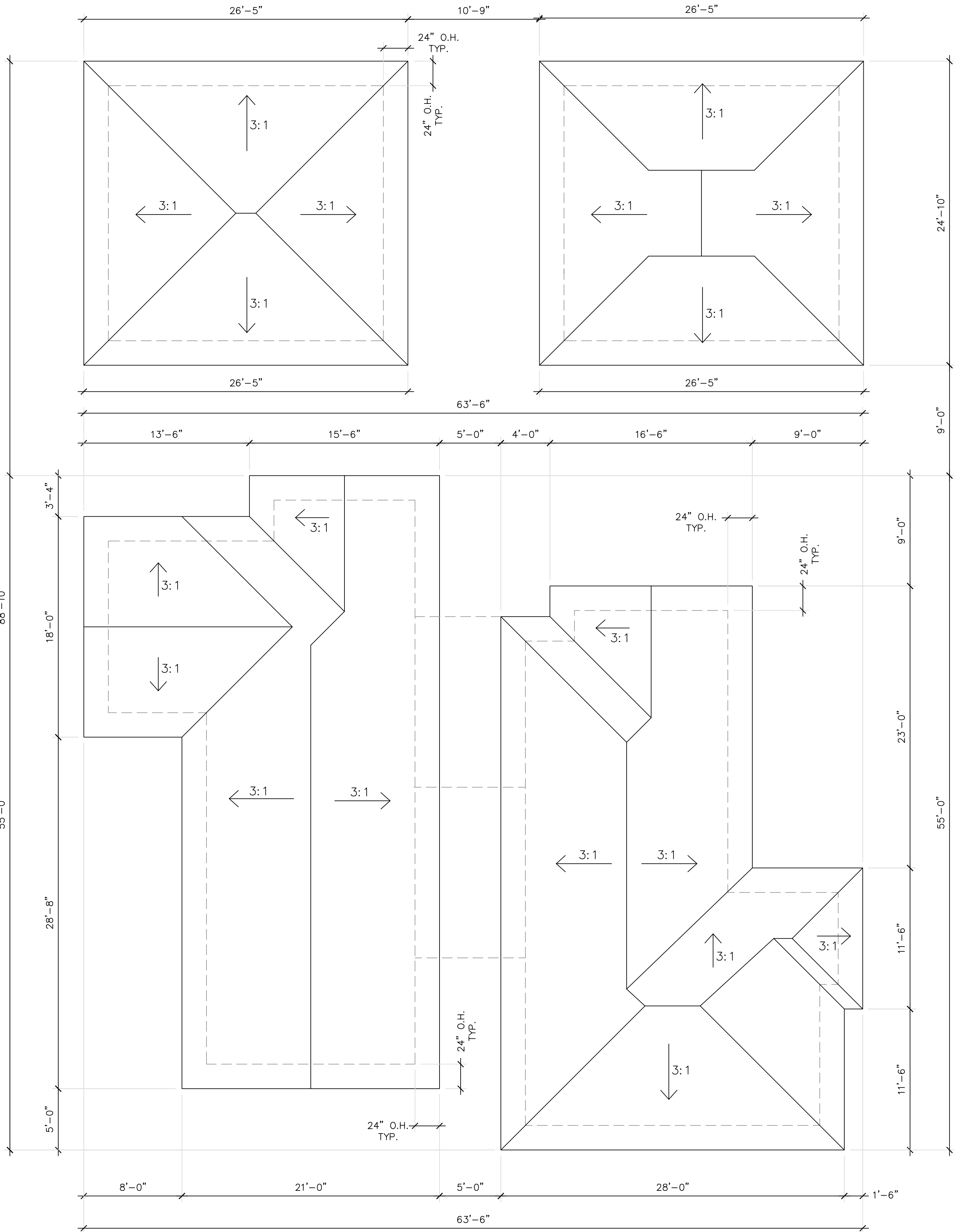
COUNTY OF SAN DIEGO
SITE PLAN

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SITE PLAN-36
Duplex
Plan 6A-2

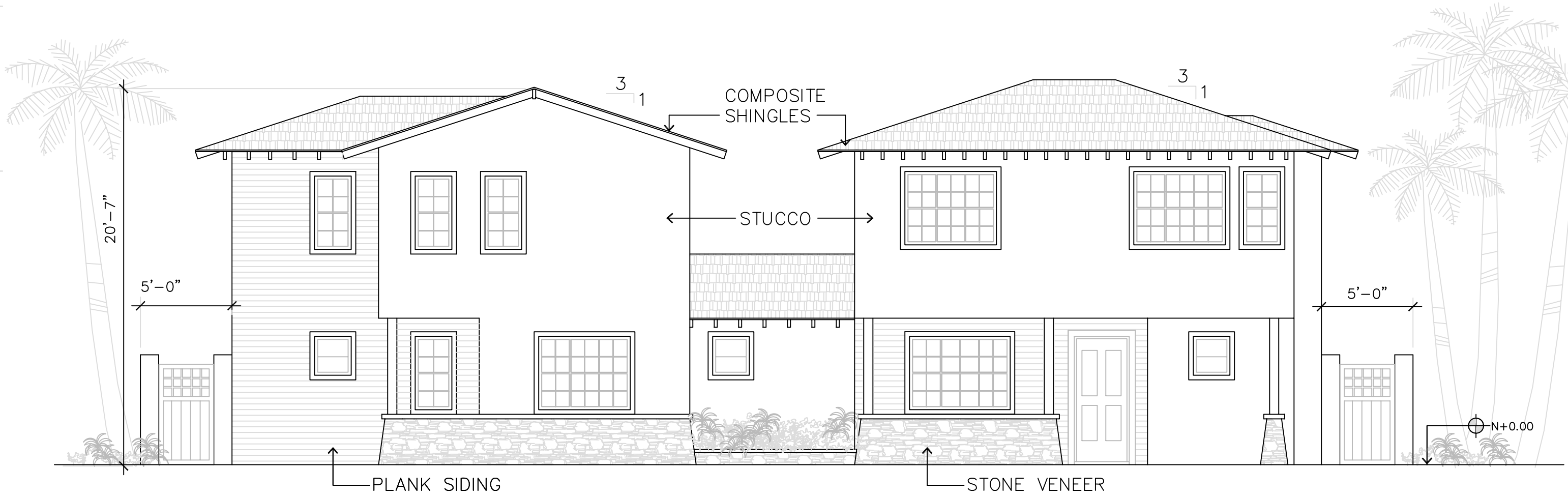
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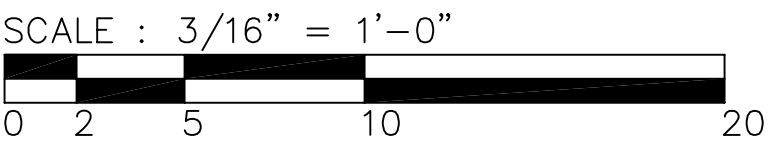
ROOF PLAN

3/16" = 1'-0" SCALE



CONCEPTUAL FRONT ELEVATION

3/16" = 1'-0" SCALE



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COUNTY OF SAN DIEGO
SITE PLAN

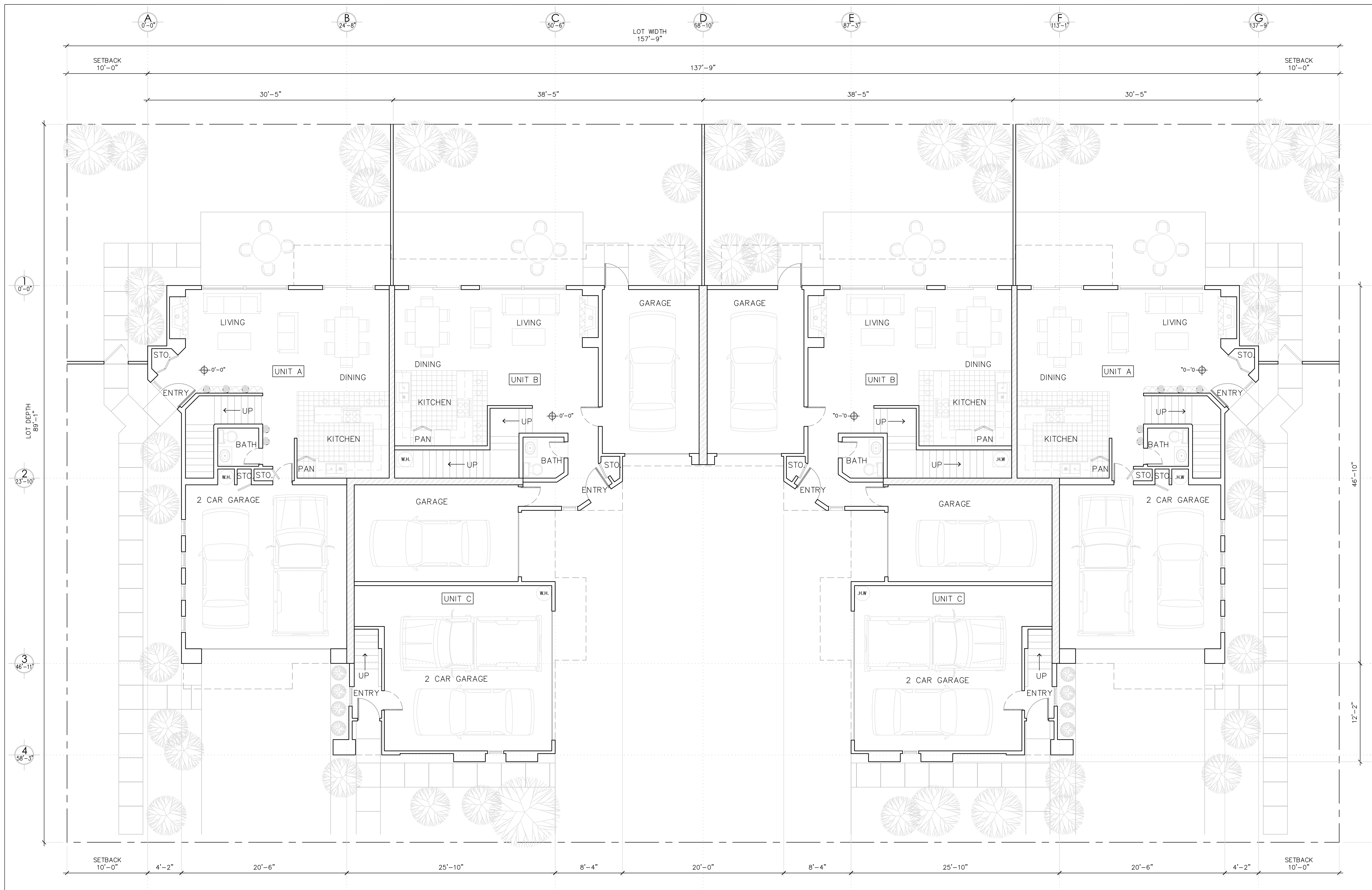
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SITE PLAN-37
Duplex
Plan 6A-2

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ROOF PLAN / ELEVATION
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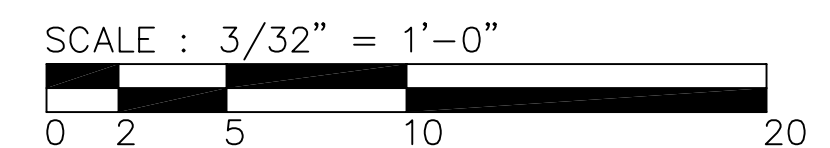
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FIRST FLOOR PLAN

$3/16'' = 1'-0''$ SCALE



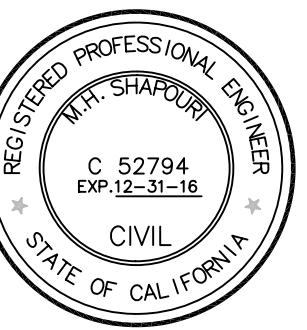
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WARNER RANCH

COUNTY OF SAN DIEGO
SITE PLAN

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SITE PLAN-38
Sixplex
Plan 7A-1

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UNIT A

- Living Area First Floor: 614 S.F.
- Living Area Second Floor: 1,006 S.F.
- Garage Area: 407 S.F.
- Total Area: 2,027 S.F.

UNIT B

- Living Area First Floor: 632 S.F.
- Living Area Second Floor: 876 S.F.
- Garage Area: 488 S.F.
- Total Area: 1,996 S.F.

UNIT C

- Living Area Second Floor: 810 S.F.
- Living Area Third Floor: 756 S.F.
- Garage Area: 445 S.F.
- Total Area: 2,011 S.F.

MULTI FAMILY SIXPLEX CONCEPT PLAN
LOTS: 261-288, 593-600.

- Minimum Lot Dimension 158'x 90' Typical
- Housing Type: MultiFamily
- Front Yard Setback: 10'
- Side Yard Setback: 10'
- Rear Yard Setback: 15'
- Parking: Garages accessed from lanes in the front. Visitor parking provided at street.
- Building Height: 30'-0"

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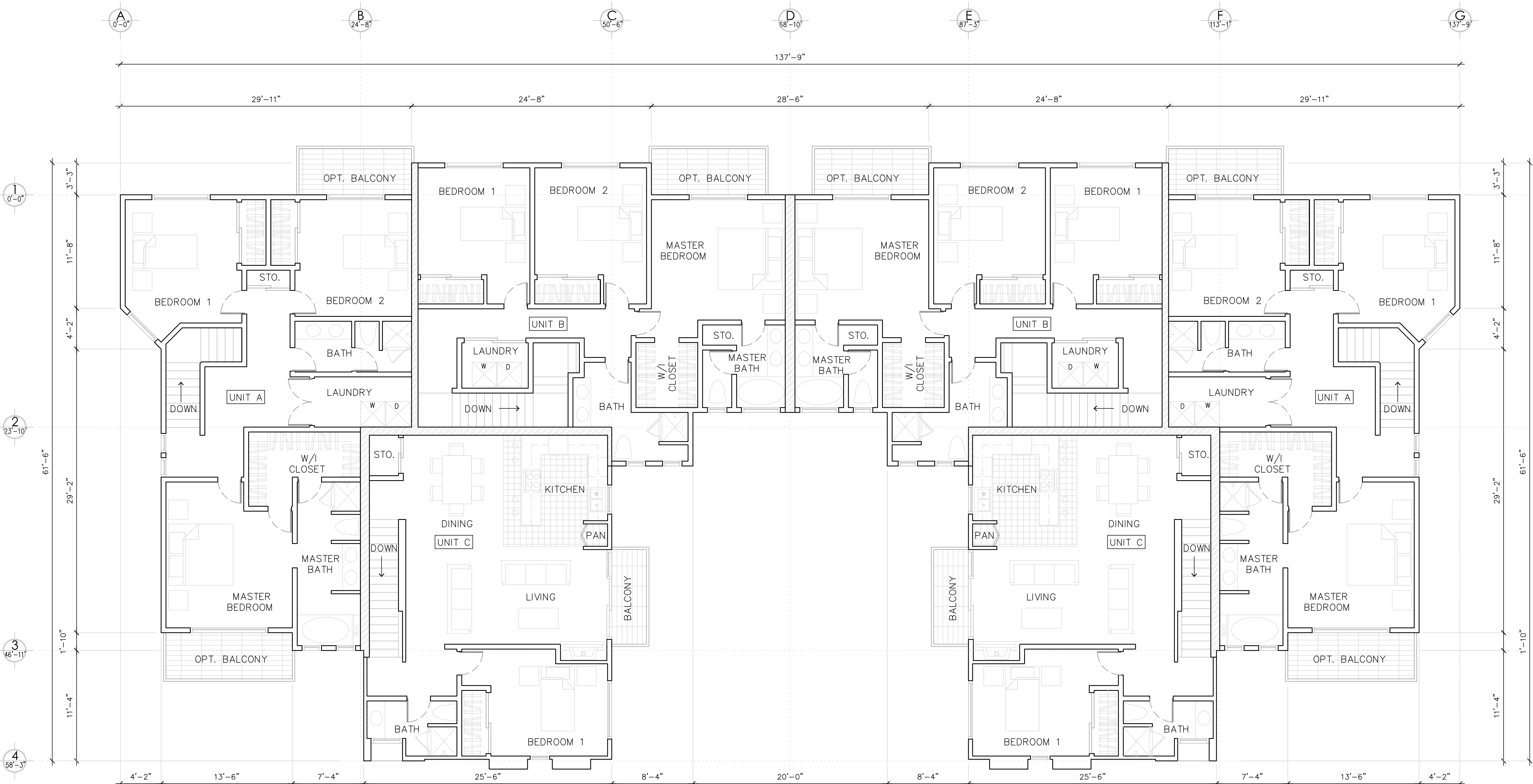
SITE PLAN-39

Sixplex

Plan 7A-1

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SECOND FLOOR PLAN

3/16" = 1'-0" SCALE

SCALE : 3/32" = 1'-0"
0 2 5 10 20